

FAIRFIELD PLANNING COMMISSION

**FAIRFIELD MUNICIPAL BUILDING
5350 PLEASANT AVE, FAIRFIELD, OH
MARCH 28, 2018, 6:00 P.M.**

REGULAR VOTING MEETING **AGENDA**

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

MINUTES OF THE PREVIOUS MEETING

March 14, 2018 Meeting Minutes

OLD BUSINESS

NEW BUSINESS

I. Design Review Items:

- Face Change – Lindenwald Station – 5072 Pleasant Ave.:
- Building and Ground Sign – Critters – 822 B Nilles Rd.:
- New Building & Signage – Aldi – 5065 Pleasant Ave.:

II. Conditional Use – Auto Body & Repair Shop – 106 Arndt Ct.:

An application has been submitted to operate an auto body and repair shop at 106 Arndt Ct. The property is zoned M-2, General Industrial District.

REPORTS/STUDIES/GENERAL DISCUSSION

ADJOURNMENT

MINUTES OF A REGULAR VOTING MEETING OF THE
FAIRFIELD PLANNING COMMISSION
MARCH 14, 2018

Don Hassler called the Regular Meeting of the Fairfield Planning Commission to order.

Members present: Don Hassler, Dean Langevin, Terry Senger, Bill Woeste, Brian Begley, and Dale Paullus. Motion to excuse Scott Lepsky carried unanimously.

MINUTES OF THE PREVIOUS MEETING

The minutes of the previous meeting, held February 28, 2018 were approved unanimously.

OLD BUSINESS

NEW BUSINESS

Conditional Use – Auto Body Repairs & Services – Boacon Auto Body & Services - 1382 Hicks Blvd.:

This property is zoned M-2. Auto body and car repair shops are not uncommon in this zone. The applicant was cited by the Zoning Division last year for selling cars at this location, and again in January for storing cars on the lot. Erin Donovan-Lynn said she would like to hear the applicant explain exactly what they intend to do at this location and if they will be open to the public, because they do not have any signage.

Benjamin Afolabi, owner of Boacon, was in attendance and spoke. He originally wanted to do auto sales from this location, but was not approved by the City for that use. He already signed a lease on the building and cannot break the lease. The auto repair shop is for private use only and will not be open to the public. Local dealers buy cars from auction and bring them to him for repairs so they can be sold on their lots. Mr. Afolabi also buys cars at auction, repairs them, and sends them out of the country. The cars are generally on the site for less than a week; he fixes them immediately and sells them. He does only minor repairs in the shop and does not do body work, so he is not required to install a paint spray booth. The Conditions of Approval were discussed. The applicant said he can comply with all of them. There was discussion regarding adding a condition that he come back before the Commission for reevaluation, but Steve Woltermann, City Attorney, discouraged that suggestion. The Zoning Division is a better avenue of enforcement than a Planning Commission condition in this case. The City is familiar with this property and they will be monitoring the site. Mr. Langevin said he is concerned about visibility issues when entering and exiting the site. Ms.

Donovan-Lynn stated safety concerns would be addressed when reviewing the site plan.

Dean Langevin, seconded by Bill Woeste, motioned to approve the conditional use application with the following conditions:

1. The applicant shall obtain a Certificate of Occupancy from the City of Fairfield Building Division. The application for the Certificate of Occupancy shall be submitted by March 29, 2018.
2. The parking lot shall be striped in accordance with Section 1183.04 of the Zoning Code. A parking lot layout design shall be submitted and approved by the Development Services Department prior to striping. The parking lot shall be striped by May 14, 2018. All vehicles shall be parked in the striped spaces.
3. The sale and storage of vehicles on site is not permitted. Only vehicles awaiting repair, employee vehicles, and customer vehicles are permitted in the parking lot.

Motion carried 6-0.

Conditional Use – Used Car Sales – Auto Arena – 5209 Dixie Hwy.:

This property was previously a Goodyear sales and repair shop, then was vacant for about a year. In addition to auto repair work, the applicant is requesting a conditional use to allow up to 10 cars to be sold at this location. He was not aware that he needed approval from the City. Ms. Donovan-Lynn stated there are cars parked randomly on the site, in and out of the existing parking spaces. There are six striped spaces in the back of the building and there are several cars parked back there and in the grass. There is also trash at the back of the property. Staff is concerned that the site is overused; it was not designed for car sales. She said it is up to the Commission to decide whether or not a car sales use is appropriate for the site.

Mustafa Samara, owner of Auto Arena, was in attendance and spoke. He opened an auto repair and sales facility in West Chester about 3 years ago. He recently moved to Fairfield and bought this building. He is currently operating as an authorized Goodyear retailer as an independent franchisee. Sales have been slow, so he decided to obtain a license to sell up to 10 cars from the Ohio BMV. He restriped the lot, and designated 10 spots on the west property line for sales; the rest is customer and employee parking. The cars he has for sale are in a separate area from the cars that are being repaired, as required by the BMV. He has moved the cars out of the grass and cleaned up the site since the pictures were taken on the slides. He is currently working with an engineer to increase the size of the parking lot by adding concrete to the back of the property in the existing grassy area. Detention is something that would be reviewed once a site plan is submitted to the Development Services Department. There was discussion on the lack of visibility where the cars for sale are

currently parked. His car sales are mostly internet based advertising and he doesn't expect to draw people in that would be driving by on Dixie Highway. If he were to expand the car sales, he would use the bigger parking lot he is proposing in the back of the property. His repair shop customers were discussed. Other dealers send in cars for him to repair, he gets walk-in customers, and he repairs his own cars that he purchases to sell.

Parking was discussed. There are 24 parking spaces on the site. The zoning code requires 18-20 spaces for an auto repair shop at this location. Mr. Woeste commented that he hesitates to approve, because he already lacks enough parking spaces for his auto repair customers, once you remove the 10 spaces for his car sales. He also doesn't think people will know it is a used car lot, because you can't see the cars from Dixie Highway. Mr. Hassler stated that he won't support a car lot even with a parking lot expansion, because the lot is too small. Mr. Woltermann said once the use of the property is determined to be an appropriate use, future owners can continue to use it as such.

Don Hassler, seconded by Dale Paullus, motioned to deny the conditional use request. Motion carried 6-0.

REPORTS/STUDIES/GENERAL DISCUSSION

Dale Paullus reported that Parks Board had a joint meeting with City Council to discuss the Marsh Park project and the dog park.

Brian Begley informed that the Crystal Classic is being held all day this Saturday.

Bill Woeste reported that the Boards and Commissions appointments were made. City Council also recognized a soldier that had recently returned home. He said the Development Services Department put together a good presentation regarding Property Maintenance and Economic Development. It was presented during the Council Manager-Briefing on Monday.

Erin Donovan-Lynn offered to put together a presentation for the Commission to bring them up to speed on upcoming projects.

Motion to adjourn carried unanimously.

Don Hassler, Vice-Chairman

Lynda McGuire, Secretary

DESIGN REVIEW COMMITTEE MEETING MINUTES

MARCH 15, 2018

Members present: Greg Kathman, Leland Rosato, Chad Oberson, Lary Littlepage, and Vicky Frazier.

MINUTES OF THE PREVIOUS MEETING

The minutes of the previous meeting, held February 15, 2018, were approved unanimously.

OLD BUSINESS

Signage – Sagarmatha International Grocery Mart – 5080 C Pleasant Ave. (TABLED):

Discussion on this item was moved to the end of the meeting to allow more time for the applicant to arrive.

NEW BUSINESS

Face Change – Lindenwald Station – 5072 Pleasant Ave.:

The proposed sign is a face change to the existing pole sign. It is 32 square feet and will be internally illuminated. The applicants were in attendance. They said they hope to be open by the first part of April. The existing ground sign on the adjacent property was discussed. It belongs to the people who sold them the property, who still own the property behind them. They will not have any signage on this ground sign. In the future, they may apply for a building sign.

Chad Oberson, seconded by Don Hassler, motioned to approve the sign as submitted. Motion carried unanimously. The applicants were informed they do not need to attend the Planning Commission meeting.

Building and Ground Sign – Critters – 822 B Nilles Rd.:

The proposed sign is a little over 6 square feet and consists of 15 inch black letter on the front of the building. They brought their old sign over from Riegert Square and installed it in the ground sign at this location and didn't need Design Review approval. Since then, they have replaced it with a new sign, so Staff is including it in this submittal.

Don Hassler, seconded by Lary Littlepage, motioned to approve the building and ground sign as submitted. Motion carried unanimously.

New Building & Signage – Aldi – 5065 Pleasant Ave.:

An application has been submitted for the construction of a new Aldi grocery store. The property

is over 2 acres and they plan to construct a 22,000 square foot grocery store. The front of the building and the entrance will face Pleasant Ave. Most of the building materials will consist of charcoal colored brick and will include a stone knee wall. The carts will be screened by this knee wall along the front of the building facing Pleasant Ave. There will be frosted glass accents along the top of the building.

Russ White, representative from Aldi, was in attendance. He stated this building is a new prototype that he is also building in the Columbus area. The dumpster will be located in the back of the building and cannot be seen because it sits low in the dock area. The parking lot will consist of 85 spaces, which is more than what is required. Crossover easements will be created on the Neyer property parking lot on Patterson Drive. There will be a pedestrian walk added from Pleasant Ave. to the building. On site detention will be in the back of the building in front of the creek. They plan to keep the existing landscaping, and will add additional, including some trees in the parking lot. The landscaping requirements along Pleasant Ave. will be waived, since there is an existing retaining wall and fence in that area that will screen the parking lot.

Erin Donovan-Lynn, Planning Manager, stated that with the purchase of the property by Aldi, the existing shopping center sign loses its grandfather status. The Law Director has indicated that the Design Review Committee can approve the continuation instead of them having to apply to the Board of Zoning Appeals. Once there are additional tenants, they will have rights to use the sign. Window signage was discussed. The only window signage planned is a large banner inside the vertical windows next to the Aldi logo.

The conditions of approval were discussed. Mr. White agreed to all of the conditions. Mr. Rosato noted that they would have to use one hour rated walls since they were only planning to be 5 and a half feet from the property line with the building. The applicants indicated they planned to use fire rated walls. It will take approximately 26 weeks to build the store, once all approvals are obtained.

Chad Oberson, seconded by Lary Littlepage, motioned to approve with the following conditions:

1. Any roof top mechanical units are to be screened from view from both Patterson Drive and Pleasant Avenue.
2. The existing free-standing sign located along Pleasant Avenue, shall be approved as a shopping center sign for businesses located on the northern side of Patterson Drive, east of the senior housing development.
3. The proposed landscaping shall conform to the approved landscape plan. Any dead plant material shall be removed and replaced. The landscape beds are to be maintained and kept free of weeds.
4. All existing landscaping, including the landscaping located in the highway easement, shall be protected during construction. If any are damaged or dead as a result of construction, they shall be replaced. The replacement landscaping shall be the same as the original in the highway easement.
5. New plantings shall be installed in the existing landscaped island near the site entrance.
6. Parking lot light poles are to be 90 degree cut-off (shoe box style) and not to exceed 19' in height from the base.

7. The applicant shall provide the City with a copy of the recorded crossover access/parking easement agreement prior to obtaining a certificate of occupancy.

Motion carried unanimously.

The signage at Sagarmatha was discussed. A violation letter can be sent out regarding the pole sign if necessary. The window signage that is to be discussed is a gray area and not enforceable through zoning. This item will remain on the table.

REPORTS

This is Vicky Frazier's last meeting. She was thanked for her service.

ADJOURNMENT

Motion to adjourn carried unanimously.

Respectfully submitted,
Lynda McGuire



City of Fairfield

PERMIT APPLICATION SHEET

Building & Zoning Division
5350 Pleasant Ave
Fairfield, OH 45014
PH (513) 867-5318
FAX (513) 867-5310

OFFICE USE ONLY

PERMIT# SN-18-0251
COST: 45.20
ZONING: D1A
USE GROUP: U

APPLICATION DATE: 2/5/18

JMS
JOB SITE ADDRESS: 5072 PLEASANT AVE

DR + PC

PROPERTY OWNER/TENANT OR NAME OF BUSINESS: LINDEN DENWALE STATION

ADDRESS (if different from job site address):

PHONE #: 513 368-8405 CONTACT PERSON: Donna Cooper

EMAIL:

CONTRACTOR: Ohio Signs

ADDRESS: 3987 HAMPSHIRE MIDDLE TOWN PHONE #: 513 260 1347

CONTACT PERSON: Don Lauer EMAIL:

PLEASE CHECK THE APPROPRIATE BOX(ES):

☐ COMMERCIAL

☐ RESIDENTIAL (1, 2 OR 3 FAMILY)

ELECTRICAL

- ☐ New Construction
- ☐ Temp. Pole
- ☐ Temp. Service
- ☐ Remodel/Rewire/Upgrade
- ☐ Pool/Hot Tub Wiring
- ☐ Pool Bonding (Inground)
- ☐ Sign Wiring
- ☐ Multi-Unit Structure

HVAC

- ☐ Heating Only
- ☐ Cooling Only
- ☐ Heating & Cooling
- ☐ Hood
- ☐ Misc. Equipment
- ☐ Multi-Unit Structure

☐ GAS PIPING

FIRE

- ☐ Alarm
- ☐ Sprinkler System
- ☐ Underground Fireline
- ☐ Hood Suppression

SIGNS

- ☒ Permanent
- ☐ Promotional
- ☐ Grand Opening
- ☐ TENT

☐ FENCE

HEIGHT

☐ SHED

SQ. FOOTAGE

☐ DECK

☐ POOL

☐ ROOF

OF LAYERS

☐ CHANGE OF OCCUPANCY

☐ DEMOLITION

☐ OTHER (Please explain below)

DESCRIBE THE WORK THAT IS TO BE DONE: FACE CHANGE ONLY

COST OF IMPROVEMENTS: 400.00 SQ. FOOTAGE 32 SQ FT

PLEASE SEE REVERSE SIDE FOR MORE INFORMATION

5072 Pleasant Ave
SN-18-0251



Lindenwald Station

Family Diner

RECEIVED

05 2 18

PAINT BUILDING
DIVISION



City of Fairfield

PERMIT APPLICATION SHEET

Building & Zoning Division
5350 Pleasant Ave
Fairfield, OH 45014
PH (513) 867-5318
FAX (513) 867-5310

OFFICE USE ONLY

PERMIT# _____
COST: _____
ZONING: _____
USE GROUP: _____

APPLICATION DATE: 3/7/18

JOB SITE ADDRESS: 822 Nilles Rd

PROPERTY OWNER/TENANT OR NAME OF BUSINESS: Critters

ADDRESS (if different from job site address): _____

PHONE #: 513-737-2060 CONTACT PERSON: Tim Russell

EMAIL: critterspetgroomingllc@gmail.com

CONTRACTOR: FASTSIGNS FAIRFIELD

ADDRESS: 6560-E Dixie Hwy PHONE #: 942-3000

CONTACT PERSON: Rick Roderer EMAIL: 227@fastsigns.com

PLEASE CHECK THE APPROPRIATE BOX(ES):

☒ **COMMERCIAL**

☐ **RESIDENTIAL (1, 2 OR 3 FAMILY)**

ELECTRICAL

- ☐ New Construction
- ☐ Temp. Pole
- ☐ Temp. Service
- ☐ Remodel/Rewire/Upgrade
- ☐ Pool/Hot Tub Wiring
- ☐ Pool Bonding (Inground)
- ☐ Sign Wiring
- ☐ Multi-Unit Structure

HVAC

- ☐ Heating Only
- ☐ Cooling Only
- ☐ Heating & Cooling
- ☐ Hood
- ☐ Misc. Equipment
- ☐ Multi-Unit Structure

☐ **GAS PIPING**

FIRE

- ☐ Alarm
- ☐ Sprinkler System
- ☐ Underground Fireline
- ☐ Hood Suppression

SIGNS

- ☒ Permanent
- ☐ Promotional
- ☐ Grand Opening
- ☐ **TENT**

☐ **FENCE**

_____ HEIGHT

☐ **SHED**

_____ SQ. FOOTAGE

☐ **DECK**

☐ **POOL**

☐ **ROOF**

_____ # OF LAYERS

☐ **CHANGE OF OCCUPANCY**

☐ **DEMOLITION**

☐ **OTHER** (Please explain below)

DESCRIBE THE WORK THAT IS TO BE DONE: 15" tall Formed Plastic letters with 3" stud mounts.

Letters affixed to building fascia with holes and silicone.

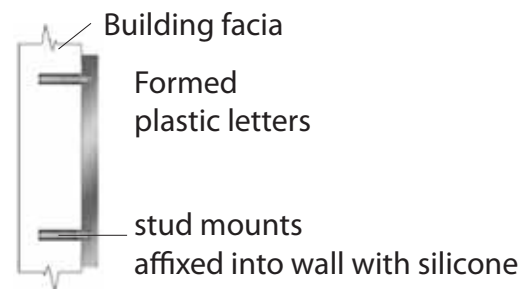
COST OF IMPROVEMENTS: \$500 SQ. FOOTAGE 6.88

PLEASE SEE REVERSE SIDE FOR MORE INFORMATION



15" tall black 3D formed plastic letters

Critters 15" x 66"



Critters
822 Nilles Rd
Fairfield, OH 45014

15" tall formed plastic letters installed on building with studs and silicone adhesive

Section of building shown in photo is 35ft of frontage

Total signage
6.88 sqft

FASTSIGNS

(513) 942-3000
6560 Dixie Hwy
Fairfield, Ohio
227@FastSigns.com

Company: Critters
Contact: Tim
Phone:
Email:

Invoice #: 44444

File Name

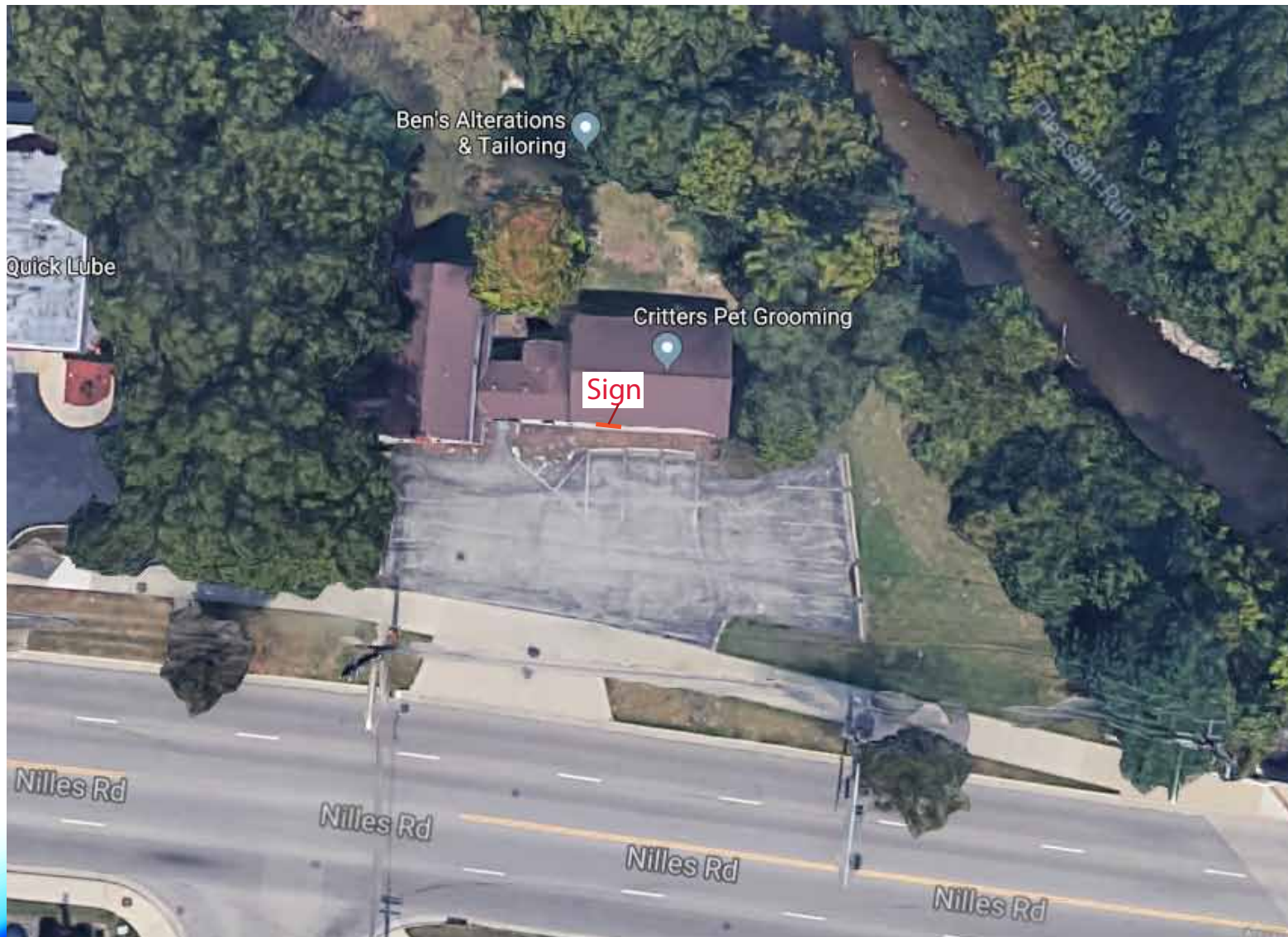
Ben's
Alterations  Tailoring



CRITTERS

PET GROOMING

513-737-2060



Critters
822 Nilles Rd
Fairfield, OH 45014

15" tall formed
plastic letters
installed on building
with studs
and silicone adhesive

Section of building
shown in photo
is 35ft of frontage

Total signage
6.88 sqft

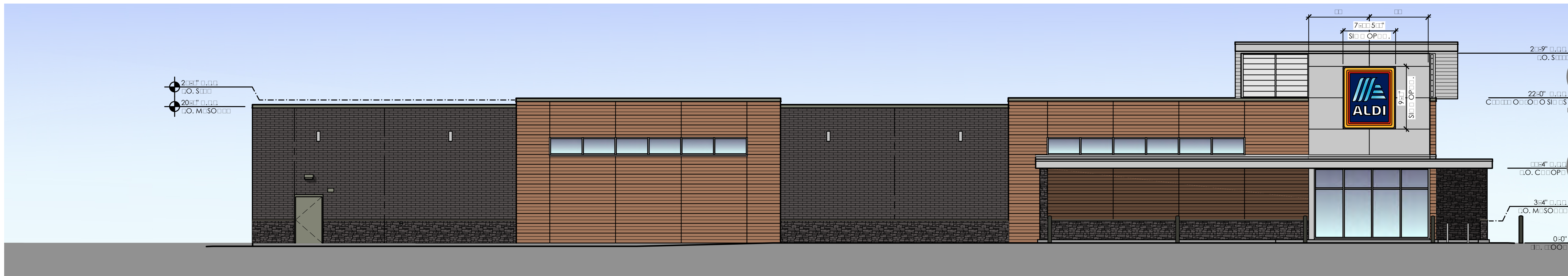
FASTSIGNS

(513) 942-3000
6560 Dixie Hwy
Fairfield, Ohio
227@FastSigns.com

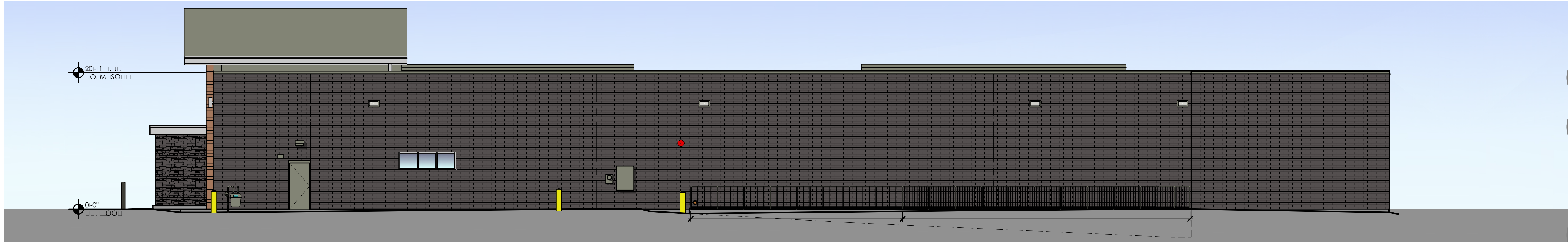
Company: Critters
Contact: Tim
Phone:
Email:

Invoice #: 44444

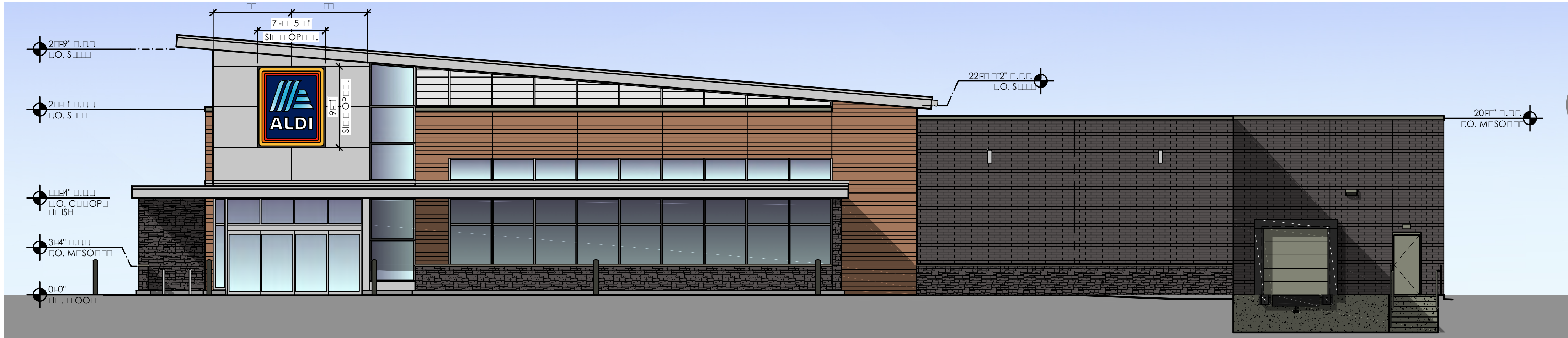
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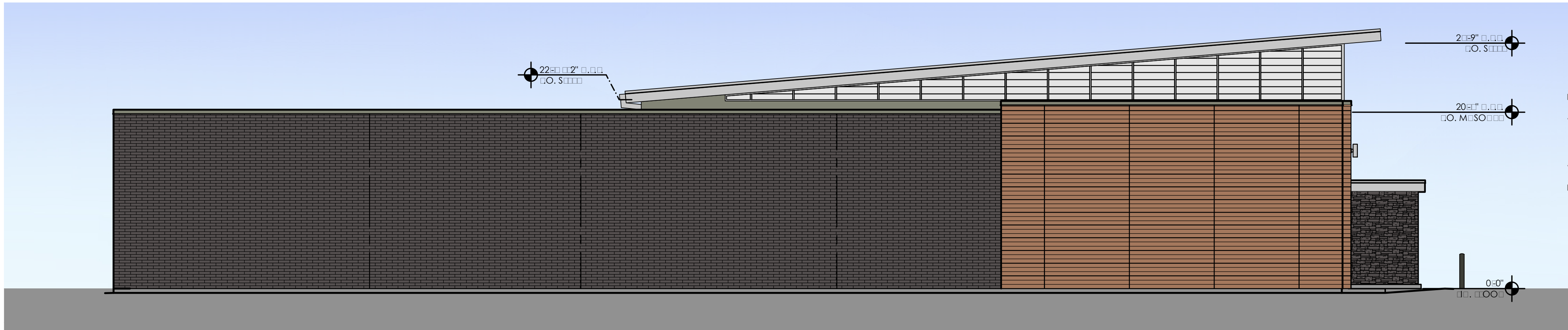
4 Front Elevation
Scale: 1/8" = 1'-0"



3 Rear Elevation
Scale: 1/8" = 1'-0"



2 Side Elevation
Scale: 1/8" = 1'-0"



1 Side Elevation
Scale: 1/8" = 1'-0"

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
ALDI SIGN	2	74.9	149.8
ALDI SIGN			149.8
SIGNAGE IS SHOWN ON ELEVATION. CHANGES TO SIGNAGE WILL BE NOTED IN PROJECT MANUAL.			

Issued:	Date:
Concept	02/22/18
Revisions:	Date:
1	
2	
3	
4	
5	
6	
7	
8	
9	

NOTES
Copying, Printing, Software and other processes required to produce these prints can stretch or shrink the actual paper or layout, therefore, scaling of this drawing may be inaccurate. Contact the consultants with any need for additional dimensions or clarifications.


ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

Project Name	Project No.
Client Name	Client No.

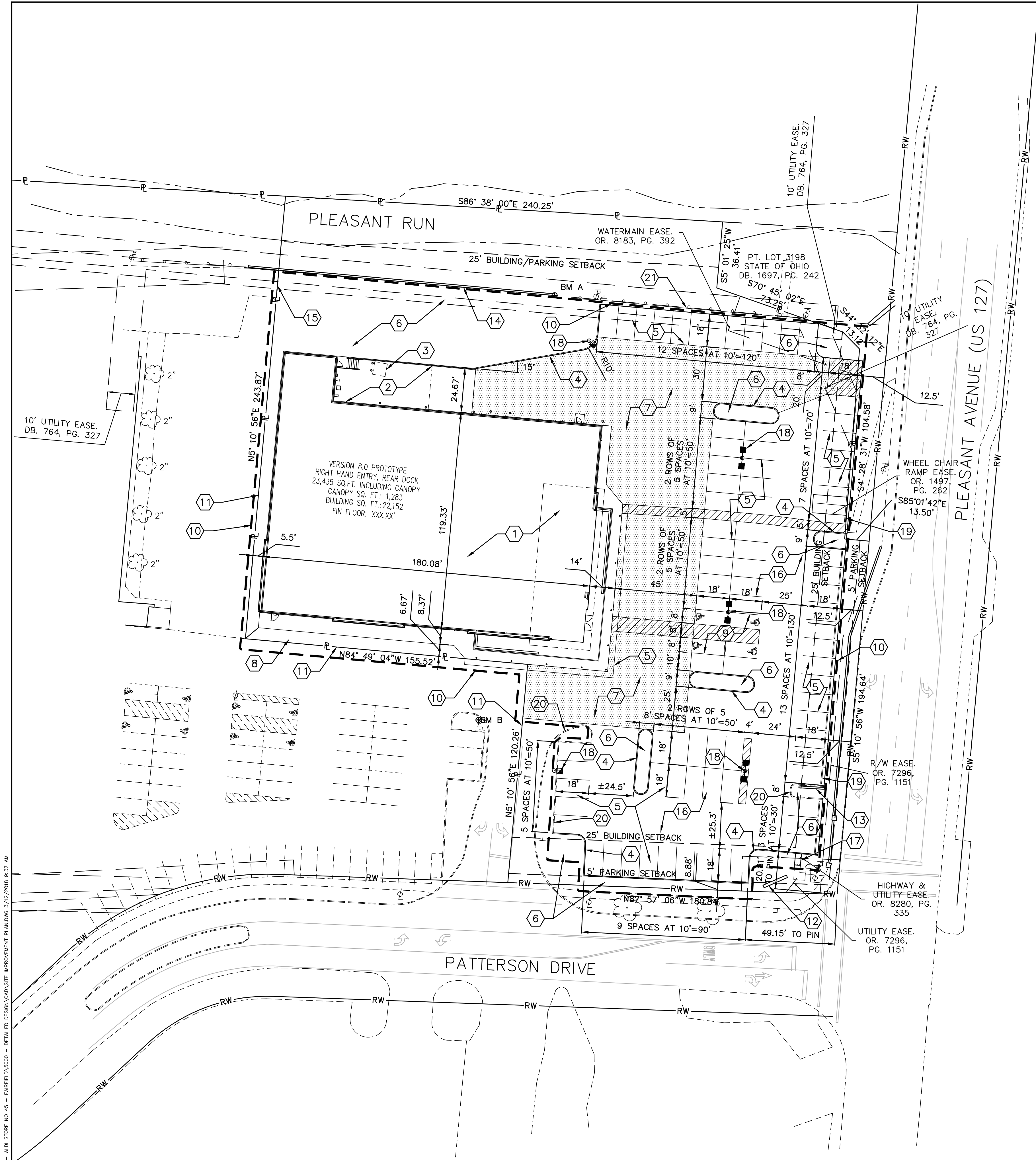
Seal


ALDI Inc.
4400 S. Charleston Pike
Springfield, OH 45502
(937) 323-5550
(937) 323-0023 fax

ALDI Inc. Store
Fairfield, OH
47 Patterson Ave.
Fairfield Township, OH, 45044
Miller County
Project Name & Location

Exterior Elevations Drawing Date	Project No. 4020-14
Prototype Date 02/01/18	Sheet No. 1-20
Scale: As Noted	Drawing No.

KEN WHITE, P.E. IN PROVISION - ALSO STORE NO 45 - FAIRFIELD 0000 - DETAILED DESIGN/CAD SITE IMPROVEMENT PLANNING 3/17/2018 8:37 AM



ZONING INFORMATION:
ADDRESS: PATTERSON AVE
PARCEL AREA: 98,213 SF (2.25 AC)

EX ZONING DISTRICT: D1 - DOWNTOWN

BUILDING SETBACK: 25' FROM FROM PLEASANT AVE R/W
25' FROM PATTERSON DR
0' FROM WEST PROPERTY LINE
25' FROM NORTH PROPERTY LINE

PARKING SETBACK: 5' FROM FROM PLEASANT AVE R/W
5' FROM PATTERSON DR R/W
0' FROM WEST PROPERTY LINE
25' FROM NORTH PROPERTY LINE

ADJACENT ZONING DISTRICT:
EAST: PLEASANT AVE
WEST: D1 - DOWNTOWN
NORTH: R3 - MULTIFAMILY RESIDENCE
SOUTH: PATTERSON DR

ADJACENT USE:
EAST: PLEASANT AVE
WEST: COMMERCIAL
NORTH: RESIDENTIAL
SOUTH: PATTERSON DR

PARKING:
REQUIRED PARKING: (1) SPACE PER 200 SF OF FLOOR AREA.
15,174 SF REQUIRES 76 SPACES

PROVIDED PARKING: (4) ADA ACCESSIBLE SPACES + (81) 10'X18'
SPACES = 85 SPACES PROVIDED

BUILDING:
PROPOSED USE: GROCERY STORE
OF FLOORS: 1
TOTAL FLOOR AREA: 22,152 SF
PUBLIC FLOOR AREA: 15,174 SF
HEIGHT: 32'

AREA CALCULATIONS:
*EXISTING PERVIOUS: 14,191 SF (0.32 AC) (14%)
*EXISTING IMPERVIOUS: 84,022 SF (1.93 AC) (86%)
TOTAL AREA: 98,213 SF (2.25 AC)

*EXISTING AREAS INCLUDE PREVIOUS DEVELOPMENT
PRIOR TO DEMOLITION

PROPOSED PERVIOUS: 24,348 SF (0.56 AC) (25%)
PROPOSED IMPERVIOUS: 73,865 SF (1.69 AC) (75%)
TOTAL AREA: 98,213 SF (2.25 AC)

PARKING LOT AREA: 46,904 SF (1.08 AC)
INTERIOR LANDSCAPE: 2,601 SF (0.06 AC) (5.5%)

STAKING NOTES

- DIMENSIONS SHOWN ARE TO EXTERIOR FACE OF BUILDING WALL OR FACE OF CURB.
- COORDINATES SHOWN ARE TO CORNER OF FOUNDATION WALL. BUILDING LAYOUT SHALL BE PROVIDED AS SHOWN ON ARCHITECTURAL PLANS.
- ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
- BUILDING AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE LABELED, S 05°10'56"W, AS TAKEN FROM SURVEY.
- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES AND PROPERTY INFORMATION ARE TAKEN FROM A SURVEY OF LAND SITUATED IN CITY OF FAIRFIELD, COUNTY OF BUTLER, STATE OF OHIO, BY SURVEYOR: DLZ OHIO

NOTES

- CONTRACTOR SHALL CLEAN AND SEAL EDGE OF EXISTING PAVEMENT PRIOR TO CONSTRUCTING PROPOSED PAVEMENT.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- UTILITY LOCATIONS ARE APPROXIMATE, BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

KEYED NOTES (X)

- PROPOSED BUILDING FOOTPRINT INCLUDING BUILDING, CONCRETE TRUCK DOCK, AND EXTERIOR SIDEWALKS.
- RECESSED TRUCK DOCK.
- DUMPSTER.
- ITEM 609 - CONCRETE CURB.
- ITEM 642 - PAVEMENT STRIPING. STRIPING TO BE 4" WIDE AND YELLOW IN COLOR.
- LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- HEAVY DUTY ASPHALT PAVING.
- STANDARD DUTY ASPHALT PAVING.
- ACCESSIBLE PARKING.
- LIMITS OF CONSTRUCTION.
- PROPOSED PROPERTY LINE.
- EXISTING MONUMENT SIGN TO REMAIN.
- EXISTING PYLON SIGN TO REMAIN. ALDI PANEL TO BE ADDED TO SIGN.
- EXISTING RETAINING WALL TO REMAIN.
- SAWCUT PAVEMENT FULL DEPTH.
- MILL AND OVERLAY.
- ITEM 608 - CONCRETE WALK.
- SITE LIGHT. GRAY SHIELDED SHOEBOX STYLE FIXTURES AND POLES. 19' MOUNTING HEIGHT.
- CONCRETE WHEEL STOPS. TYPICAL OF 23.
- EXISTING CURB TO REMAIN.
- EXISTING GUARDRAIL TO REMAIN.

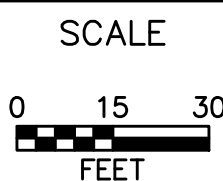


No.	BY	DATE	REVISIONS	PROJ. PERSONNEL	DATE
	Int.	Mo./Dy./Yr.	Remarks	Initials	Mo./Dy./Yr.
				DES.	
				DWN.	
				CKD.	



ALDI Inc.
4400 S. Charleston Pike
Springfield, OH 45502
(937) 323-5590
(937) 323-0023 Fax

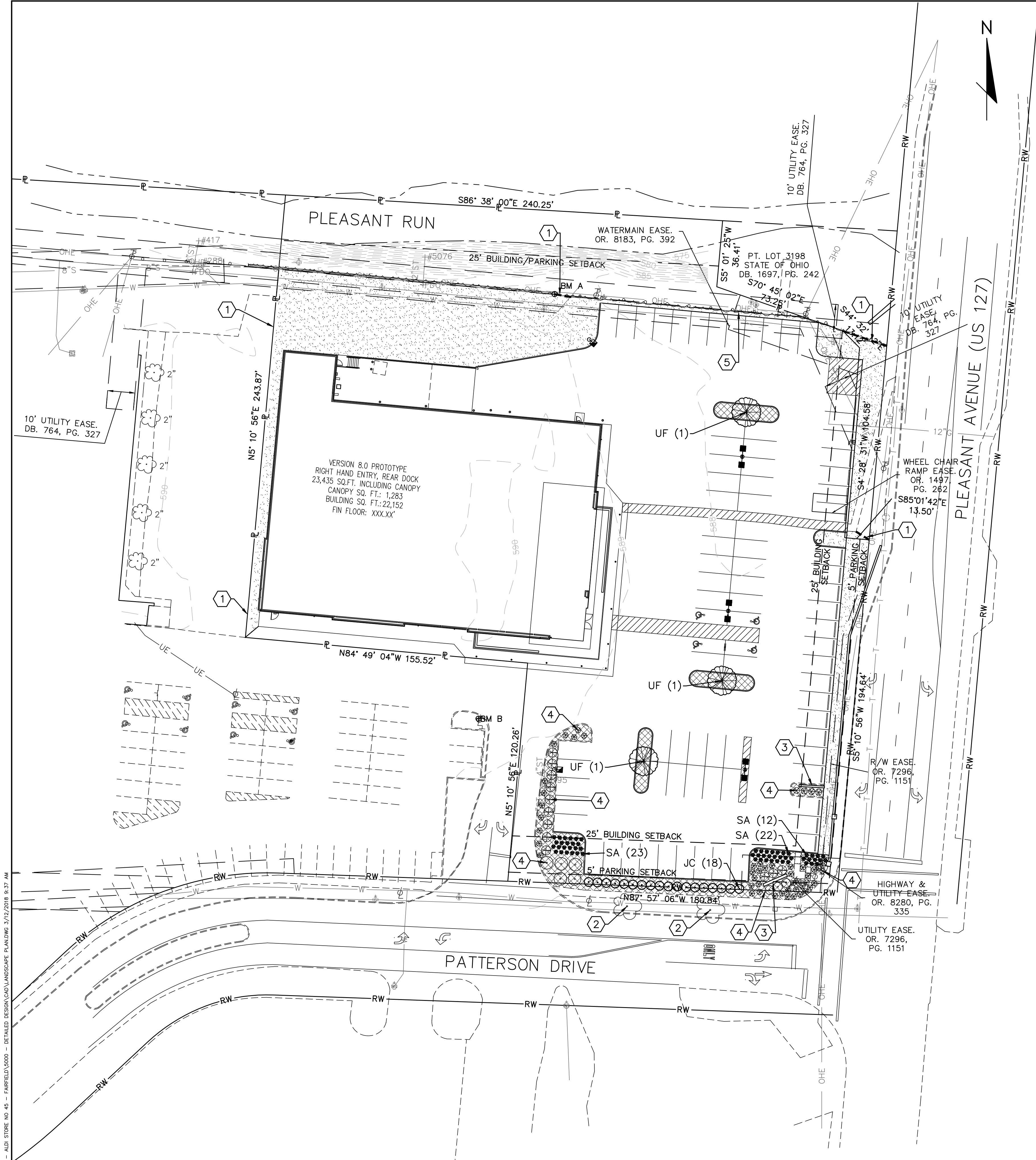
ALDI STORE #45
FAIR PLAZA
5065 PLEASANT AVE
FAIRFIELD, OH 45014



SITE IMPROVEMENT PLAN



ISSUED STATUS: PERMIT
SHEET **C05.0**
DATE ISSUED: 03/12/2018
Mo./Dy./Yr.



GENERAL NOTES

- A. CONTRACTOR TO FIELD LOCATE (STAKE AND MARK) PLANT LOCATIONS FOR REVIEW BY ENGINEER PRIOR TO INSTALLATION. THE ENGINEER RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS MAY BE NECESSARY.
- B. SEED ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION/INSTALLATION ACTIVITIES IN ACCORDANCE WITH SPECIFICATIONS. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS OR PAVING SHALL BE SEEDED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- C. CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING/IMPROVEMENTS AS NECESSARY TO INSTALL PROPOSED LAWN AND/OR PLANTINGS.
- D. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY LOCATIONS PRIOR TO COMMENCEMENT OF LANDSCAPING ACTIVITIES.
- E. DECIDUOUS SHADE TREES WILL HAVE UNIFORM CROWN AND FORM AND BE EVENLY LIMBED TO A MINIMUM HEIGHT ABOVE GRADE OF 6'-0", UNLESS OTHERWISE SPECIFIED. ALL TREES AND SHRUBS SHALL BE LOCATED A MINIMUM OF 2'-6" FROM THE FACE OF THE CURB.
- F. ALL PLANTING BEDS TO RECEIVE 3" SHREDDED HARDWOOD MULCH. TREES IN LAWN AREA SHALL HAVE 6" DIA. MULCH RING. EXISTING PLANTING BEDS SHALL BE RE-MULCHED WITH NEW MATERIAL.
- G. PROVIDE MIN. 4" TOPSOIL AT ALL AREAS TO BE SEEDED. PROVIDE MIN. 12" TOPSOIL AT ALL PLANTING BEDS.
- H. ALL PLANT MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF A.N.A. STANDARDS FOR NURSERY STOCK.
- I. ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.
- J. LAWNS SHALL BE SEEDED WITH A LOCALLY ADAPTIVE TURF SEED MIX UTILIZING THE HYDROSEEDING METHOD. APPLICATION FERTILIZER SHALL BE PLACED AT A MINIMUM OF 80 POUNDS PER ACRE, HYDROMULCH AT 1,200 POUNDS ER ACRE, WATER AT 500 GALLONS PER ACRE, AND SEED AT A MINIMUM OF 220 POUNDS PER ACRE.
- K. TWO LAYERS OF ULTRA-VIOLET LIGHT RESISTANT WEED BARRIER MADE FROM FIBERGLASS SHALL BE PLACED UNDER ALL PLANTING BEDS, INCLUDING EXISTING, PRIOR TO MULCHING.
- L. ALL PLANTING BEDS SHALL BE GRADED SMOOTH AND FREE OF SOIL CLODS AND STONES. LAWN AREAS SHALL BE FREE OF STONES GREATER THAN 2".
- M. ALL PLANTS ARE TO BE REMOVED FROM CONTAINERS, CAGES AND OTHER NON-BIODEGRADABLE MATERIALS.
- N. PLANT QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN "TAKE-OFFS". DRAWING PREVAILS OVER WRITTEN QUANTITIES.
- O. SEE SITE DETAILS SHEET FOR ALL PLANTING DETAILS.

LEGEND

- TURF SEED - [Pattern]
- MULCH - [Pattern]

KEYED NOTES (X)

1. LIMITS OF SEEDING. SEED ALL AREAS OUTSIDE OF LIMITS AS NECESSARY PER GENERAL NOTE B.
2. EXISTING TREE TO REMAIN. IF AT ANY POINT DURING CONSTRUCTION, THE TREE BECOMES SIGNIFICANTLY DAMAGED OR DIES, THE CONTRACTOR SHALL COORDINATE REPLACEMENT TREES WITH THE OWNER.
3. EXISTING SIGN TO REMAIN.
4. EXISTING LANDSCAPING TO REMAIN. IF AT ANY POINT DURING CONSTRUCTION, THE EXISTING LANDSCAPING BECOMES SIGNIFICANTLY DAMAGED OR DIES, THE CONTRACTOR SHALL REPLACE THE DAMAGED OR DEAD LANDSCAPING IN KIND.
5. EXISTING LANDSCAPING TO REMAIN. CONTRACTOR SHALL TRIM AND/OR PRUNE ALL EXISTING VEGETATION THAT IS OVERHANGING THE PAVEMENT AS NECESSARY.

PLANT SCHEDULE						
TREES	BOTANICAL NAME	COMMON NAME	CONTAINER	QUANTITY	SPACING	REMARKS
UF	ULMUS X 'FRONTIER'	FRONTIER ELM	B&B	3		3" CALIPER
SHRUBS	BOTANICAL NAME	COMMON NAME	CONTAINER	QUANTITY		REMARKS
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	#5	18	5' O.C.	24-30" HT.
PERENNIALS	BOTANICAL NAME	COMMON NAME	CONTAINER	QUANTITY		REMARKS
SA	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	#1	57	3' O.C.	

No.	BY	DATE	REVISIONS	PROJ. PERSONNEL	DATE
	Int.	Mo./Dy./Yr.	Remarks	Initials	Mo./Dy./Yr.
				DES.	
				DWN.	
				CKD.	

ALDI Inc.
4400 S. Charleston Pike
Springfield, OH 45502
(937) 323-5590
(937) 323-0023 Fax

ALDI STORE #45
FAIR PLAZA
5065 PLEASANT AVE
FAIRFIELD, OH 45014

SCALE
0 15 30
FEET

ISSUED STATUS: PERMIT

SHEET **C10.0**

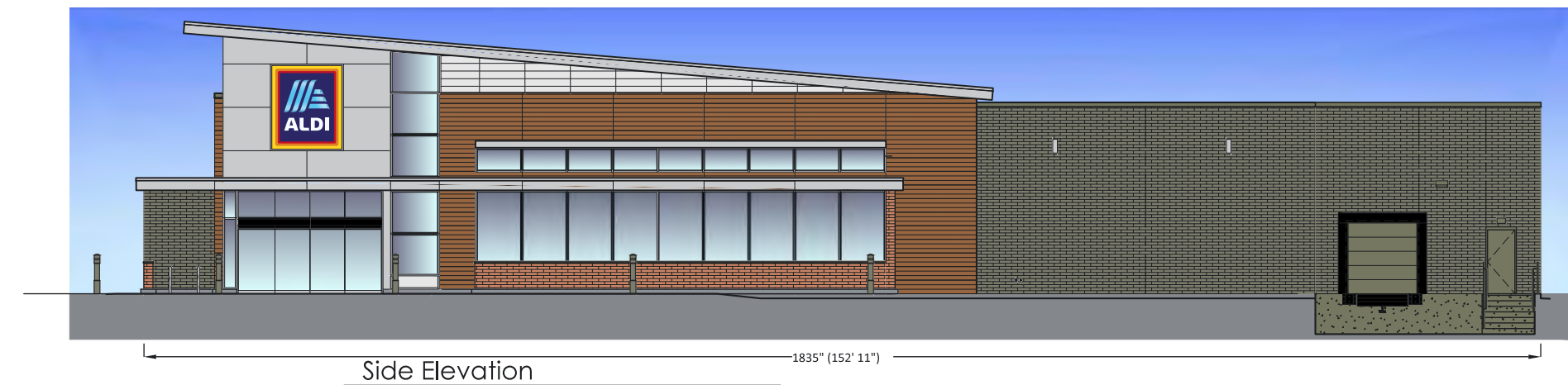
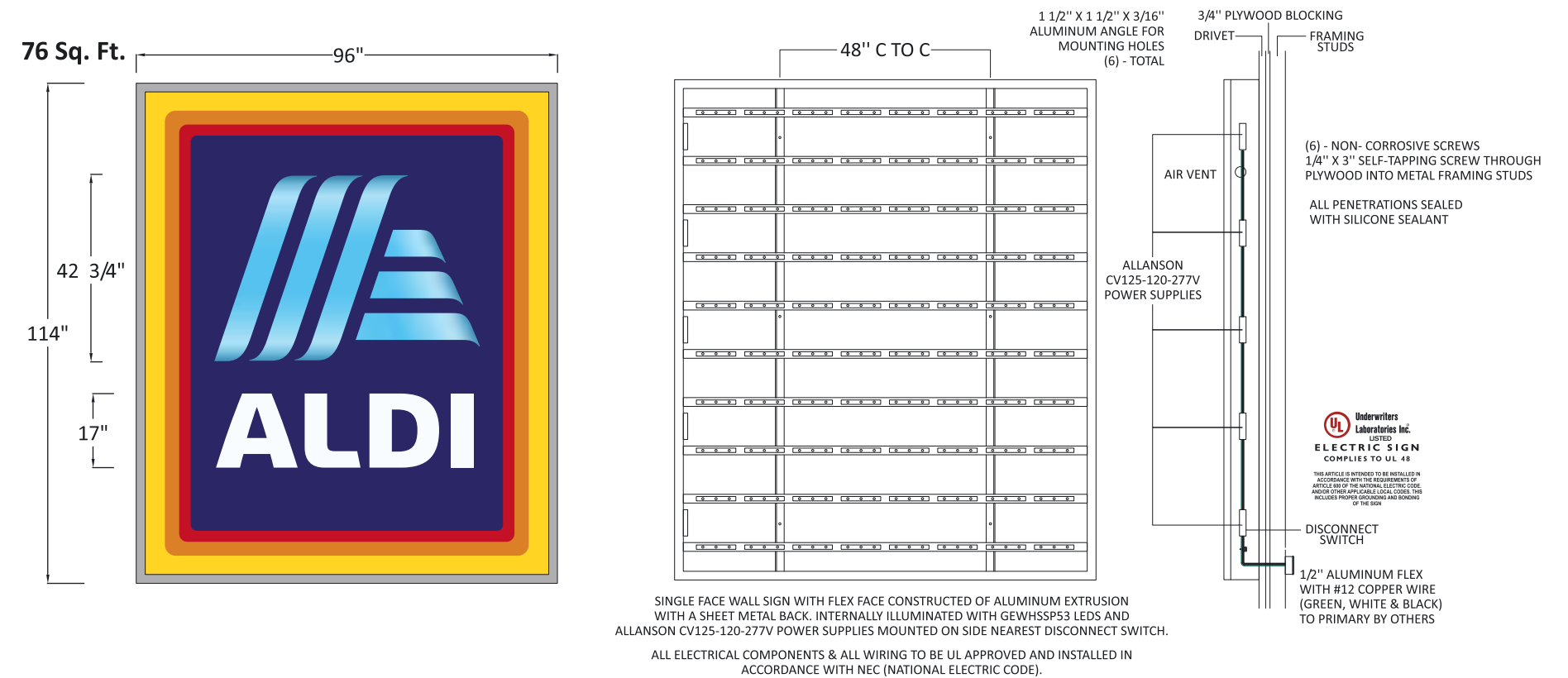
DATE ISSUED: 03/12/2018
Mo./Dy./Yr.

LANDSCAPE PLAN

KEN WHITE, P.E. IN PROVISION - ALSO STORE NO 45 - FAIRFIELD 0000 - DETAILED DESIGN/CAD LANDSCAPE PLANNING 3/12/2018 9:37 AM



(2) NEW INTERNALLY ILLUMINATED ALUMINUM SINGLE FACE WALL SIGNS WITH DIGITAL PRINTED FLEX FACES RECESSED INTO WALL



NOTE

STRUCTURE: HAS BEEN DESIGNED TO WITHSTAND 90MPH (3-SEC GUST) DESIGN WIND SPEEDS WITH A MAXIMUM DESIGN PRESSURE OF 22 PSF ACCORDING TO 2003 IBC TABLE 1609.6.2.1(2) WITH 30' MAX OVERALL HT. SIGN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2011 OBC



www.branhamsign.com

888-976-7446

127 Cypress Street SW
Reynoldsburg, Ohio 43068



Address:
SPRINGFIELD DIVISION
440 S CHARLESTON PIKE
SPRINGFIELD OH 45502

Installation Address:
FAIRFIELD
540 Patterson Dr.
Fairfield, OH 45014

Sales:
ymiller@branhamsign.com

Designer:
jgreenlee@branhamsign.com

Notes:

UL Underwriters Laboratories Inc. LISTED
ELECTRIC SIGN
COMPLIES TO UL 48

THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

Approval:

Approved/Customer Date

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Page 1 Sheet 1 of 1



MOVE EXISTING TENANTS DOWN, COMBINE TOP TWO POSITIONS FOR (2) NEW DIGITALLY PRINTED ALDI FACES.
(SIZE ESTIMATED)



Address:
 SPRINGFIELD DIVISION
 440 S CHARLESTON PIKE
 SPRINGFIELD OH 45502

Installation Address:
 FAIRFIELD
 Fairfield, OH

Sales:
 ymiller@branhamsign.com

Designer:
 jgreenlee@branhamsign.com

Notes:



THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE, AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

Approval:

Approved/Customer Date

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Page 1 Sheet 1 of 1



CU-18-0034



APPLICATION FOR CONDITIONAL USE
FAIRFIELD PLANNING COMMISSION
CITY OF FAIRFIELD, OHIO
(REFERENCE CODIFIED ORDINANCE NO. 166-84)

DATE: 3/16/18

SECTION I

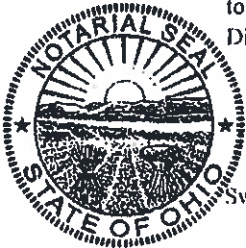
The undersigned requests a Conditional Use for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application and any conditions or safeguards required by the Planning Commission.

The undersigned hereby applies for permission to:

AUTO BODY COLLISION AND MECHANICAL
ASSOCIATED WITH REPAIRS AND RESTORATIONS

in accordance with plans, application, and all information hereto attached and made a part of this application.

The Property Owner, (if different than applicant), acknowledges by signature below, that he/she is aware of this application. Should this permit be approved, the undersigned does hereby covenant and agree to comply with all provisions and ordinances of the City of Fairfield, Ohio pertaining to same and to erect and/or modify the structure according to plans and specification, as approved by the Building Division.



COLLEEN A. KROELL
Notary Public, State of Ohio
My Commission Expires 01-23-2023

Property Owner:

ARNST COURT 2, LLC

Signature:

[Signature]

Sworn to and subscribed before me, this 15 day of March, 2018

Notary Public:

The Applicant hereby acknowledges that if this application is granted and this permit is approved, the undersigned does hereby covenant and agree to comply with all provisions and ordinances of the City of Fairfield, Ohio pertaining to same and to erect and/or modify the structure according to plans and specifications, as approved by the Building Division.

Applicant: TROY L MADDOX

Signature:

Troy L Maddox

Sworn to and subscribed before me, this 16th day of March



Lynda McGuire
Notary Public, State of Ohio;
Commission Expires: May 10, 2020

Notary Public:

Lynda McGuire

SECTION II

ADDRESS OF PROJECT: 106 ARNDT COURT

Applicant Information

Name: TROY L MADDOX

Mailing Address: 311 PERSHING AVE. Ham Cincinnati 45215

Phone: 513-205-8818 Email: DSI100@LIVE.COM
LOW CASE

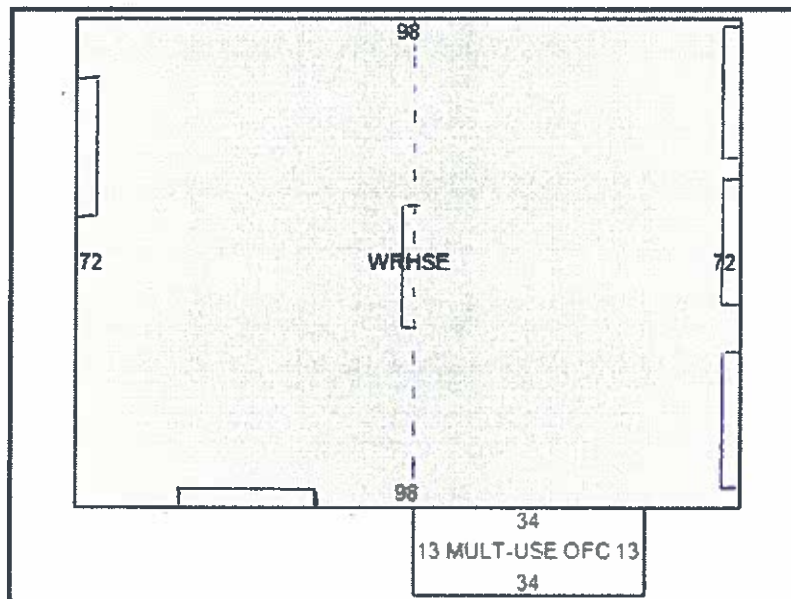
Information Required

1. Plans, drawn to scale, showing the floor plan, actual shape and dimensions of the lot, existing buildings, proposed and existing streets, existing and intended use of each building and/or proposed building, parking areas, walkways, curb cuts, and other such information with regard to the lot and adjacent lots as may be necessary to determine and provide for the proper hearing of the application.
2. Attach plans along with a \$50 filing fee or send electronically to development@fairfield-city.org.
3. Planning Commission meets the **second and fourth** Wednesday of every month. **The full application, including the filing fee, must be submitted at least 10 days prior to the meeting.** If you have any questions pertaining to your application, please contact the Development Services Department at (513) 867-5345 or development@fairfield-city.org.

PARID: A0700085000046
ARNDT COURT 2 LLC

40 ARNDT CT

43 of 5



Options 

Type	Line #	Item	Area
Commercial	1	MULT-USE OFC - 082 MULTI-USE OFFICE	442
Commercial	2	WRHSE - 045 WAREHOUSE	7,066
Commercial	3	ENCLSR - 085 ENCLOSURE	440
Commercial Feature	1	CANPY RF/SLB - CP6: CANOPY ROOF/SLAB	136
Commercial Feature	3	OVRHD DR - OD1 OVERHEAD DR-WOOD/MTL	163
Outbuilding	1	PVG C HVY - C14: PAVING CONCRETE HEAVY DUTY	8,200
Commercial Feature	4	OVRHD DR - OD1 OVERHEAD DR-WOOD/MTL	224

Click on an item to display it independently.

FOR LEASE
ARNDT COURT PROPERTIES

106 Arndt Court



BUILDING HIGHLIGHTS

- 7,395 sq. ft.
- 845 sq. ft. office
- Three (3) drive-in doors (16'x14')
- Two (2) drive-in doors (12' x 14')
- Clear height of 14'-17'
- Single phase power
- Dual separate bays

BUILDING IMPROVEMENTS

- New interior office build out including new bathrooms
- New LED lighting in warehouse space
- New roof
- New exterior LED lighting
- New hvac system in office
- New heaters in the warehouse
- New paint on walls and ceilings in warehouse

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CBRE